

HISTORIC AND DESIGN REVIEW COMMISSION

April 06, 2022

HDRC CASE NO: 2022-177
ADDRESS: 909 HAYS ST
LEGAL DESCRIPTION: NCB 1654 BLK B LOT 11
ZONING: R-5, H
CITY COUNCIL DIST.: 2
DISTRICT: Dignowity Hill Historic District
APPLICANT: Frank Telles/FT Builder Services LLC
OWNER: Brian King/MARTINEZ VIOLA OVALLE
TYPE OF WORK: Construction of a rear addition, exterior modifications, rehabilitation
APPLICATION RECEIVED: March 22, 2022
60-DAY REVIEW: Not applicable due to City Council Emergency Orders
CASE MANAGER: Edward Hall

REQUEST:

The applicant is requesting a Certificate of Appropriateness for approval to:

1. Perform rehabilitative scopes of work to the primary structure including window repair.
2. Perform fenestration modifications on the east and west facades by creating new window openings and modifying existing window openings.
3. Remove the existing roof dormer on the north (rear) roof slope.
4. Construct a rear addition to feature a total of 611 square feet, including both conditioned and non-conditioned space.
5. Perform apron, curb cut and driveway modifications.

APPLICABLE CITATIONS:

Historic Design Guidelines, Chapter 2, Guidelines for Exterior Maintenance and Alterations

3. Materials: Roofs

A. MAINTENANCE (PRESERVATION)

i. Regular maintenance and cleaning—Avoid the build-up of accumulated dirt and retained moisture. This can lead to the growth of moss and other vegetation, which can lead to roof damage. Check roof surface for breaks or holes and flashing for open seams and repair as needed.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

i. Roof replacement—Consider roof replacement when more than 25-30 percent of the roof area is damaged or 25-30 percent of the roof tiles (slate, clay tile, or cement) or shingles are missing or damaged.

ii. Roof form—Preserve the original shape, line, pitch, and overhang of historic roofs when replacement is necessary.

iii. Roof features—Preserve and repair distinctive roof features such as cornices, parapets, dormers, open eaves with exposed rafters and decorative or plain rafter tails, flared eaves or decorative purlins, and brackets with shaped ends.

iv. Materials: sloped roofs—Replace roofing materials in-kind whenever possible when the roof must be replaced. Retain and re-use historic materials when large-scale replacement of roof materials other than asphalt shingles is required (e.g., slate or clay tiles). Salvaged materials should be re-used on roof forms that are most visible from the public right-of-way. Match new roofing materials to the original materials in terms of their scale, color, texture, profile, and style, or select materials consistent with the building style, when in-kind replacement is not possible.

v. Materials: flat roofs—Allow use of contemporary roofing materials on flat or gently sloping roofs not visible from the public right-of-way.

vi. Materials: metal roofs—Use metal roofs on structures that historically had a metal roof or where a metal roof is appropriate for the style or construction period. Refer to Checklist for Metal Roofs on page 10 for desired metal roof specifications when considering a new metal roof. New metal roofs that adhere to these guidelines can be approved administratively as long as documentation can be provided that shows that the home has historically had a metal roof.

vii. *Roof vents*—Maintain existing historic roof vents. When deteriorated beyond repair, replace roof vents in-kind or with one similar in design and material to those historically used when in-kind replacement is not possible.

6. Architectural Features: Doors, Windows, and Screens

A. MAINTENANCE (PRESERVATION)

- i. *Openings*—Preserve existing window and door openings. Avoid enlarging or diminishing to fit stock sizes or air conditioning units. Avoid filling in historic door or window openings. Avoid creating new primary entrances or window openings on the primary façade or where visible from the public right-of-way.
- ii. *Doors*—Preserve historic doors including hardware, fanlights, sidelights, pilasters, and entablatures.
- iii. *Windows*—Preserve historic windows. When glass is broken, the color and clarity of replacement glass should match the original historic glass.

B. ALTERATIONS (REHABILITATION, RESTORATION, AND RECONSTRUCTION)

- i. *Doors*—Replace doors, hardware, fanlight, sidelights, pilasters, and entablatures in-kind when possible and when deteriorated beyond repair. When in-kind replacement is not feasible, ensure features match the size, material, and profile of the historic element.
- ii. *New entrances*—Ensure that new entrances, when necessary to comply with other regulations, are compatible in size, scale, shape, proportion, material, and massing with historic entrances.
- iii. *Glazed area*—Avoid installing interior floors or suspended ceilings that block the glazed area of historic windows.
- iv. *Window design*—Install new windows to match the historic or existing windows in terms of size, type, configuration, material, form, appearance, and detail when original windows are deteriorated beyond repair.
- v. *Muntins*—Use the exterior muntin pattern, profile, and size appropriate for the historic building when replacement windows are necessary. Do not use internal muntins sandwiched between layers of glass.

Standard Specifications for Replacement Windows

Consistent with the Historic Design Guidelines, the following recommendations are made for replacement windows:

- **MATERIALS:** If full window replacement is approved, the new windows must feature primed and painted wood exterior finish. Clad, composition, or non-wood options are not allowed unless explicitly approved by the commission.
- **SASHES:** Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- **DEPTH:** There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness.
- **TRIM:** Original trim details and sills should be retained or repaired in kind. If approved, new window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail. Window track components such as jamb liners must be painted to match the window trim or concealed by a wood window screen set within the opening.
- **GLAZING:** Replacement windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature real exterior muntins.
- **COLOR:** Replacement windows should feature a painted finish. If a clad product is approved, white or metallic manufacturer's color is not allowed, and color selection must be presented to staff.
- **INSTALLATION:** Replacement windows should be supplied in a block frame and exclude nailing fins. Window opening sizes should not be altered to accommodate stock sizes prior to approval.

Historic Design Guidelines, Chapter 3, Guidelines for Additions

1. Massing and Form of Residential Additions

A. GENERAL

- i. Minimize visual impact—Site residential additions at the side or rear of the building whenever possible to minimize views of the addition from the public right-of-way. An addition to the front of a building would be inappropriate.
- ii. Historic context—Design new residential additions to be in keeping with the existing, historic context of the block. For example, a large, two-story addition on a block comprised of single-story homes would not be appropriate.
- iii. Similar roof form—Utilize a similar roof pitch, form, overhang, and orientation as the historic structure for additions.
- iv. Transitions between old and new—Utilize a setback or recessed area and a small change in detailing at the seam of the historic structure and new addition to provide a clear visual distinction between old and new building forms.

B. SCALE, MASSING, AND FORM

- i. Subordinate to principal facade—Design residential additions, including porches and balconies, to be subordinate to the principal facade of the original structure in terms of their scale and mass.
- ii. Rooftop additions—Limit rooftop additions to rear facades to preserve the historic scale and form of the building from the street level and minimize visibility from the public right-of-way. Full-floor second story additions that obscure the form of the original structure are not appropriate.
- iii. Dormers—Ensure dormers are compatible in size, scale, proportion, placement, and detail with the style of the house. Locate dormers only on non-primary facades (those not facing the public right-of-way) if not historically found within the district.
- iv. Footprint—The building footprint should respond to the size of the lot. An appropriate yard to building ratio should be maintained for consistency within historic districts. Residential additions should not be so large as to double the existing building footprint, regardless of lot size.
- v. Height—Generally, the height of new additions should be consistent with the height of the existing structure. The maximum height of new additions should be determined by examining the line-of-sight or visibility from the street. Addition height should never be so contrasting as to overwhelm or distract from the existing structure.

3. Materials and Textures

A. COMPLEMENTARY MATERIALS

- i. Complementary materials—Use materials that match in type, color, and texture and include an offset or reveal to distinguish the addition from the historic structure whenever possible. Any new materials introduced to the site as a result of an addition must be compatible with the architectural style and materials of the original structure.
- ii. Metal roofs—Construct new metal roofs in a similar fashion as historic metal roofs. Refer to the Guidelines for Alterations and Maintenance section for additional specifications regarding metal roofs.
- iii. Other roofing materials—Match original roofs in terms of form and materials. For example, when adding on to a building with a clay tile roof, the addition should have a roof that is clay tile, synthetic clay tile, or a material that appears similar in color and dimension to the existing clay tile.

B. INAPPROPRIATE MATERIALS

- i. Imitation or synthetic materials—Do not use imitation or synthetic materials, such as vinyl siding, brick or simulated stone veneer, plastic, or other materials not compatible with the architectural style and materials of the original structure.

C. REUSE OF HISTORIC MATERIALS

- i. Salvage—Salvage and reuse historic materials, where possible, that will be covered or removed as a result of an addition.

4. Architectural Details

A. GENERAL

- i. Historic context—Design additions to reflect their time while respecting the historic context. Consider character-defining features and details of the original structure in the design of additions. These architectural details include roof form, porches, porticos, cornices, lintels, arches, quoins, chimneys, projecting bays, and the shapes of window and door openings.
- ii. Architectural details—Incorporate architectural details that are in keeping with the architectural style of the original structure. Details should be simple in design and compliment the character of the original structure. Architectural details

that are more ornate or elaborate than those found on the original structure should not be used to avoid drawing undue attention to the addition.

iii. Contemporary interpretations—Consider integrating contemporary interpretations of traditional designs and details for additions. Use of contemporary window moldings and door surroundings, for example, can provide visual interest while helping to convey the fact that the addition is new.

Standard Specifications for Windows in Additions and New Construction

Consistent with the Historic Design Guidelines, the following recommendations are made for windows to be used in new construction:

- GENERAL: Windows used in new construction should be similar in appearance to those commonly found within the district in terms of size, profile, and configuration. While no material is expressly prohibited by the Historic Design Guidelines, a high quality wood or aluminum-clad wood window product often meets the Guidelines with the stipulations listed below.
- SIZE: Windows should feature traditional dimensions and proportions as found within the district.
- SASH: Meeting rails must be no taller than 1.25". Stiles must be no wider than 2.25". Top and bottom sashes must be equal in size unless otherwise approved.
- DEPTH: There should be a minimum of 2" in depth between the front face of the window trim and the front face of the top window sash. This must be accomplished by recessing the window sufficiently within the opening or with the installation of additional window trim to add thickness. All windows should be supplied in a block frame and exclude nailing fins which limit the ability to sufficiently recess the windows.
- TRIM: Window trim must feature traditional dimensions and architecturally appropriate casing and sloped sill detail.
- GLAZING: Windows should feature clear glass. Low-e or reflective coatings are not recommended for replacements. The glazing should not feature faux divided lights with an interior grille. If approved to match a historic window configuration, the window should feature true, exterior muntins.
- COLOR: Wood windows should feature a painted finish. If a clad or non-wood product is approved, white or metallic manufacturer's color is not allowed and color selection must be presented to staff.

FINDINGS:

- a. The historic structure at 909 Hays was constructed circa 1905 and is first found on the 1912 Sanborn Map. The structure features Folk Victorian architectural elements and roof dormers on both the north, south and east roof slopes. The structure has been modified in various ways from its original form, including the removal of both front and rear porches, entrance elements and fenestration.
- b. WINDOW REPAIR – The applicant has proposed to repair the existing wood windows. Staff finds this scope of work to be appropriate and consistent with the Guidelines.
- c. FENESTRATION MODIFICATIONS – The applicant has proposed to perform fenestration modifications on both the east and west façades by creating new window openings and modifying existing window openings. The proposed new window openings feature contemporary sizes and profiles. The Guidelines for Exterior Maintenance 6.A.i. notes that exterior window and door openings should be preserved. Staff finds that the existing window openings should be preserved in their current location and that their original profile should be maintained. Additionally, the Guidelines note that new window openings should not be created on primary facades or where visible from the right of way. Staff finds the proposed modifications to the existing window openings as well as the creation of new window openings on the side facades to be inconsistent with the Guidelines.
- d. REAR DORMER REMOVAL – The applicant has proposed to construct a rear addition which will result in the removal of an existing, rear roof dormer. The dormer currently features a ridge height that is higher than that proposed. The Guidelines for Exterior Maintenance and Alteration 3.B.iii., original roof features, including dormers should be preserved. Generally, staff finds that the applicant should explore ways to maintain the dormer or incorporate the dormer's ridgeline into that of the proposed addition.
- e. REAR ADDITION – The applicant has proposed to construct a rear addition to feature a total of 611 square feet, including both conditioned and non-conditioned space.
- f. REAR ADDITION – The Guidelines for Additions 1.A. notes that additions should be sited to minimize view from the public right of way, should be designed to be in keeping with the existing, historic context of the

block, should feature similar roof forms, and should feature a transition to differentiate the new addition from the historic structure. Additionally, the Guidelines for Additions 1.B notes that additions should be subordinate to the principal façade of the historic structure, should feature a footprint that responds to the size of the lot, and should feature an overall height that is generally consistent with that of the historic structure. Generally, staff finds the proposed addition to be appropriate; however, staff finds that either a setback or vertical trim piece should be added to the east façade to differentiate the addition from the historic structure.

- g. REAR ADDITION (Materials) – The applicant has proposed materials for the rear addition that feature composite siding and trim and a composition shingle roof. Staff finds the use of composite siding and trim materials to be appropriate provided that all composite siding feature a smooth finish and a four inch exposure. Staff finds that all trim should match that of the historic structure in profile and dimension.
- h. WINDOW MATERIALS – At this time the applicant has not specified window materials. Staff finds that wood or aluminum clad wood windows should be installed that are consistent with staff's standards for windows in new construction and additions.
- i. WINDOW PROFILES – The applicant has proposed for the rear addition to feature windows on the rear addition that feature contemporary profiles. Staff finds that windows that are consistent with the profile of those found on the historic structure should be installed. Additionally, staff finds that additional fenestration should be added to the rear addition.
- j. ROOF FORM – The applicant has proposed for the rear addition to feature a hipped roof featuring a 5/12 slope. The Guidelines for Additions 2.A.iii., roof forms should utilize similar roof pitch, form, and orientation as the principal structure for additions, particularly for those that are visible from the public right-of-way. As noted in finding d, staff finds that the applicant should explore ways to maintain the existing, rear dormer or to incorporate the dormer's ridgeline into that of the proposed addition. Additionally, staff finds that the addition's roof slope should match that of the historic structure's roof slope.
- k. ARCHITECTURAL DETAILS – As noted in the above findings, staff finds that a vertical trim piece or offset should be added to the east façade, that the applicant should explore ways to incorporate the existing rear dormer into the proposed addition, and that the addition's roof pitch should match that of the original structure.
- l. PATIO – The applicant has noted the installation of a patio addition to the west façade of the proposed addition. Staff generally finds the proposed patio to be appropriate.
- m. REAR ACCESSORY STRUCTURE – The applicant has noted the demolition of the existing, rear accessory structure. No formal application has been submitted for this request and is not to be considered at this time. Staff finds that a structural report of the rear accessory structure's condition as well as a cost estimate for its rehabilitation should be submitted to the Commission for review and approval to determine an unreasonable economic hardship for its repair.
- n. DRIVEWAY/CURB CUT/APRON – The applicant has proposed to install a new driveway to feature full width concrete as well as modify the existing curb cut and apron. Driveways on this block of Hays feature multiple profiles, including full width and ribbon strips. Staff finds the installation of a new driveway to be appropriate; however, the width should not exceed ten (10) feet, per the Guidelines for Site Elements. Additionally, staff finds that the curb cut and apron should remain as they exist.

RECOMMENDATION:

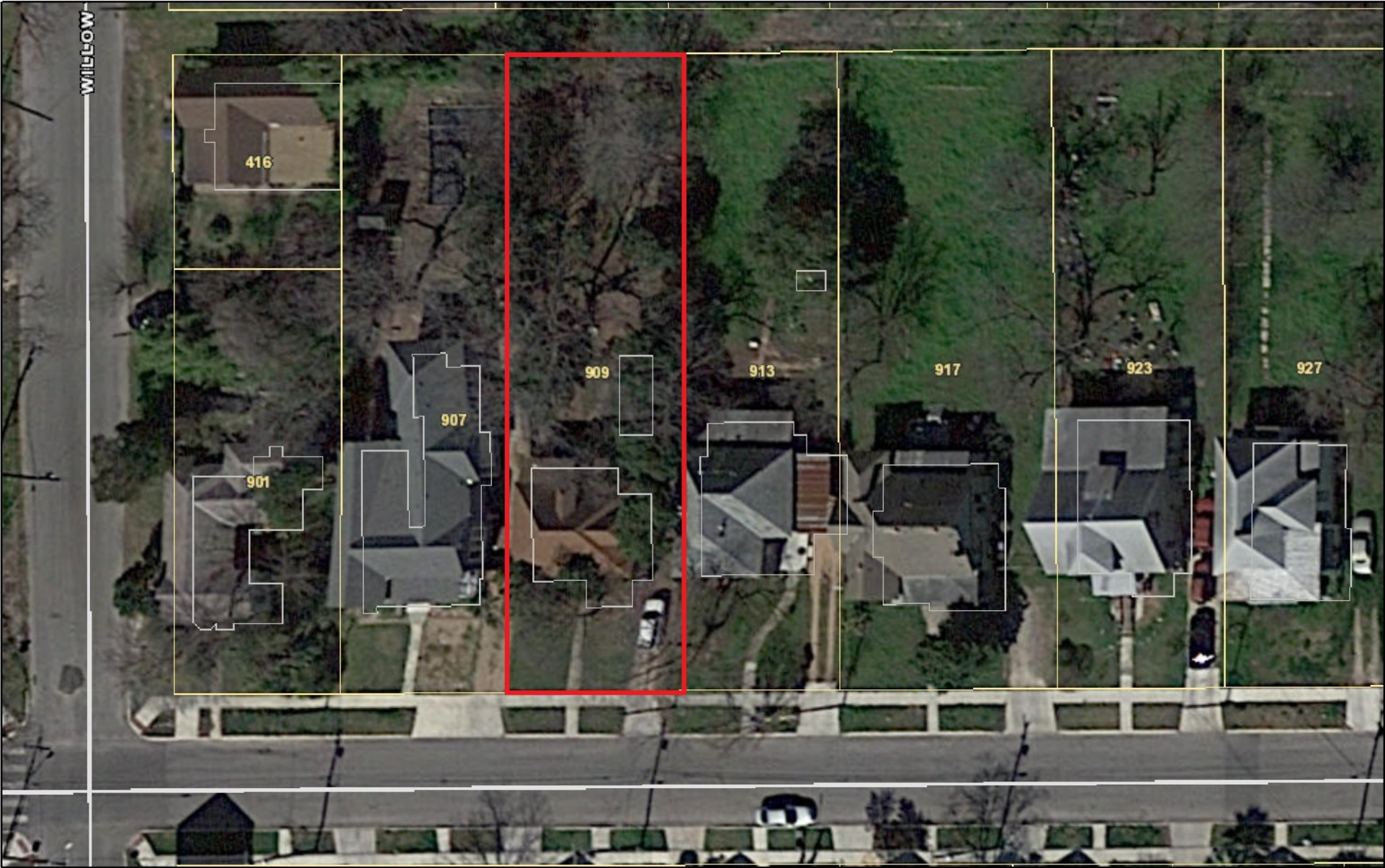
1. Staff recommends approval of item #1, window repair, based on finding b with the stipulation that windows are repaired in-kind.
2. Staff does not recommend approval of item #2, fenestration modifications to the east and west facades based on finding c. Staff recommends that original window openings be maintained and that no new window openings be created within the historic structure's footprint. Evidence for previously enclosed windows may be presented to OHP staff for rehabilitation.
3. Staff does not recommend approval of item #3, the removal of the rear roof dormer based on finding d. Staff recommends that the applicant explore ways to maintain the dormer or incorporate the dormer's ridgeline into that of the proposed addition.
4. Staff recommends approval of item #4, the construction of a rear addition based on findings e through l with the following stipulations:
 - i. That either a setback or vertical trim piece be added to the east façade to differentiate the addition from the historic structure.
 - ii. That all composite siding feature a smooth finish and a four inch exposure. Staff recommends that all trim match that of the historic structure in profile and dimension.

- iii. That wood or aluminum clad wood windows be installed that are consistent with staff's standards for windows in new construction and additions.
 - iv. That the addition feature window profiles that are consistent with those of the historic structure and that additional fenestration be added to the rear addition.
 - v. That the applicant explore ways to maintain the existing, rear dormer or to incorporate the dormer's ridgeline into that of the proposed addition. Additionally, staff recommends that the addition's roof slope match that of the historic structure's roof slope.
5. Staff recommends approval of item #5, driveway, curb cut and apron modifications with the stipulation that the driveway not feature more than ten (10) feet in width, and that the existing curb cut and apron be maintained.

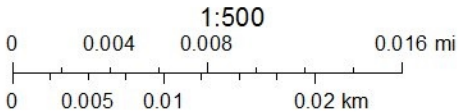
CASE COMMENT:

The applicant has noted the demolition of the existing, rear accessory structure. No formal application has been submitted for this request and is not to be considered at this time. Staff finds that a structural report of the rear accessory structure's condition as well as a cost estimate for its rehabilitation should be submitted to the Commission for review and approval to determine an unreasonable economic hardship for its repair.

City of San Antonio One Stop



April 1, 2022



161

162

BURLESON

Not Paved

6" W. PIPE

1367

1368

LAMAR

Not Paved

12" W. PIPE

162

WILLOW

MUNCEY

1653

1654

909

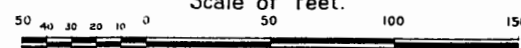
HAYS

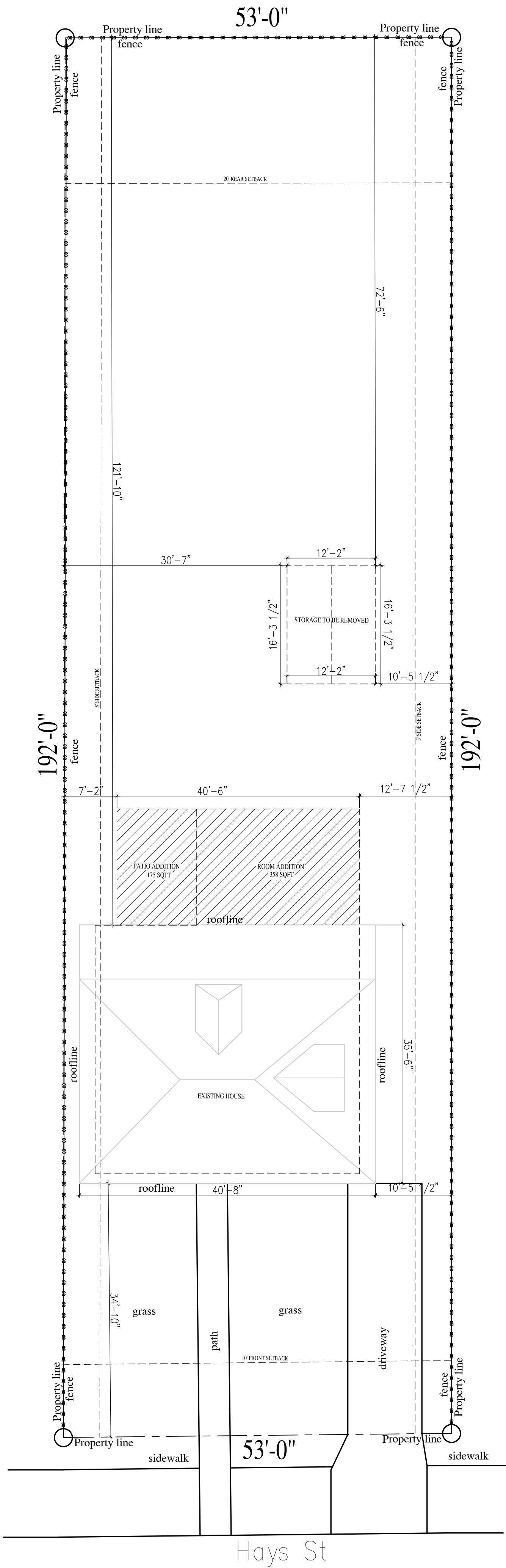
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148

1912 SANBORN MAP

Scale of Feet.





SITE PLAN

909 HAYS ST

SAN ANTONIO, TX 78202

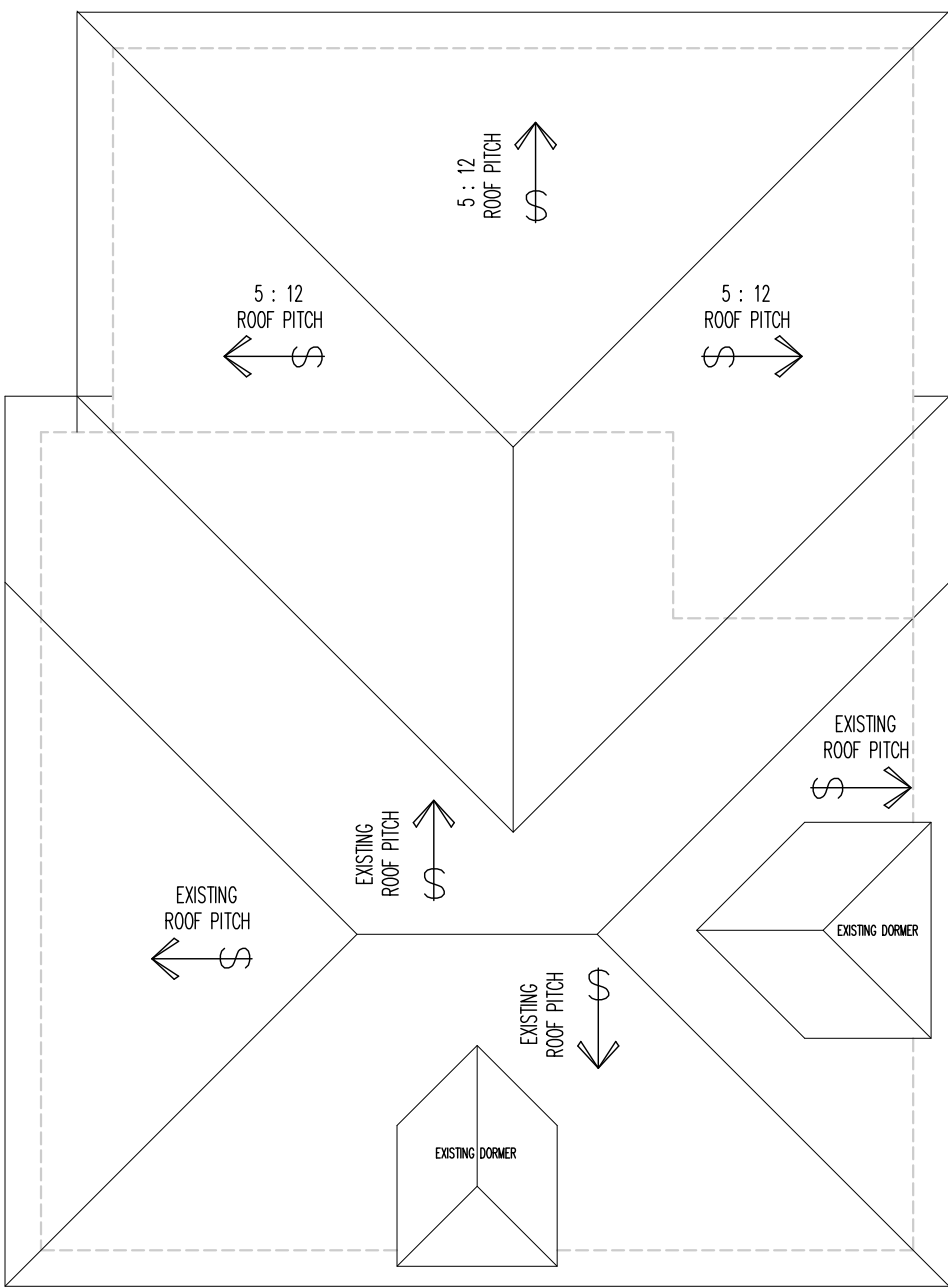
LEGAL DESCRIPTION: NCB 1654 BLK B LOT 11

ZONING: R-5

BEXAR COUNTY, TEXAS



SCALE: 1"=10'-0"



PROPOSED ROOF PLAN

SCALE: 1/8" = 1'-0" FOR 36"x24" SHEET

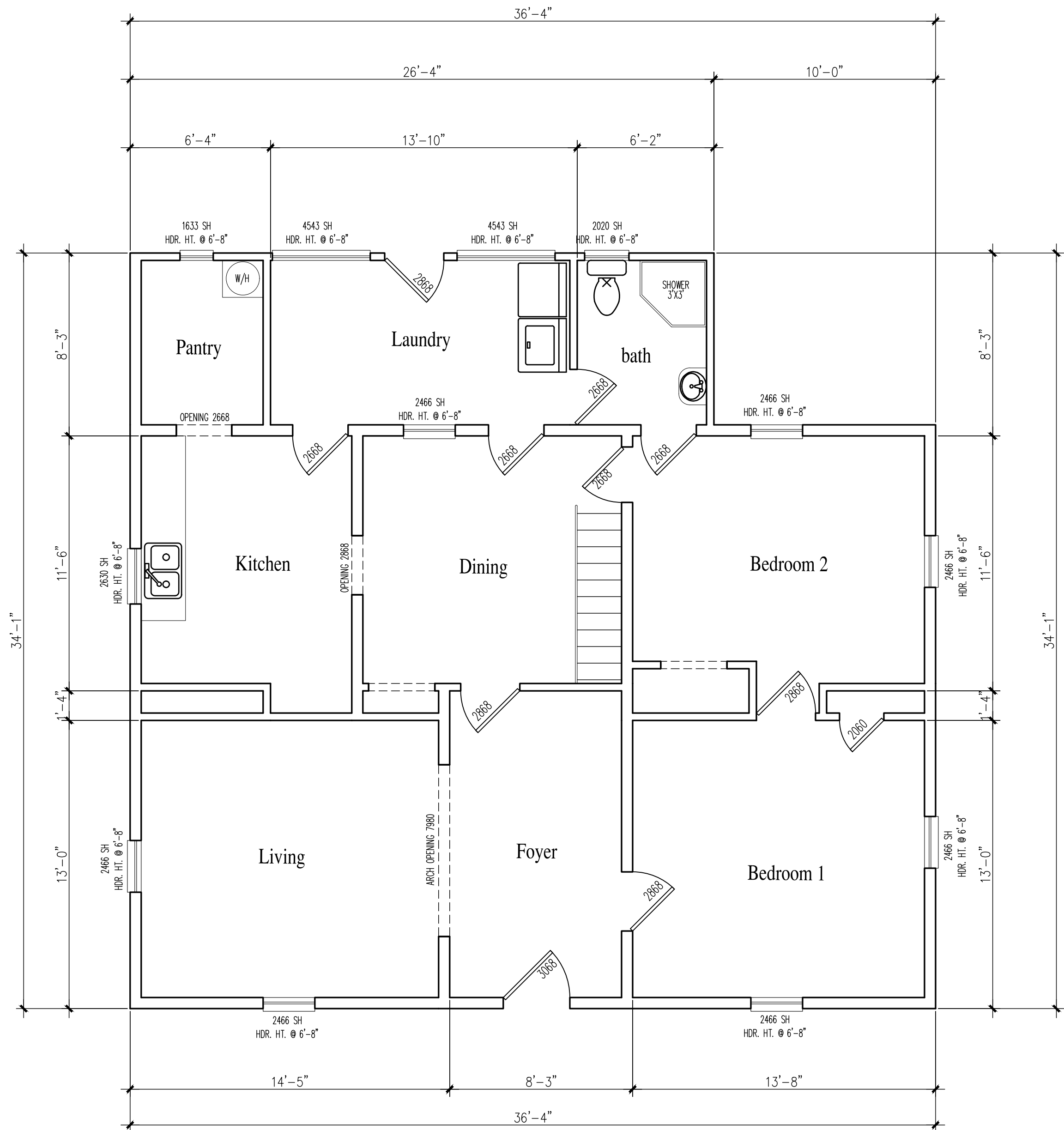
NOTES

909 Hays
San Antonio TX 78202
EXISTING FLOOR PLAN

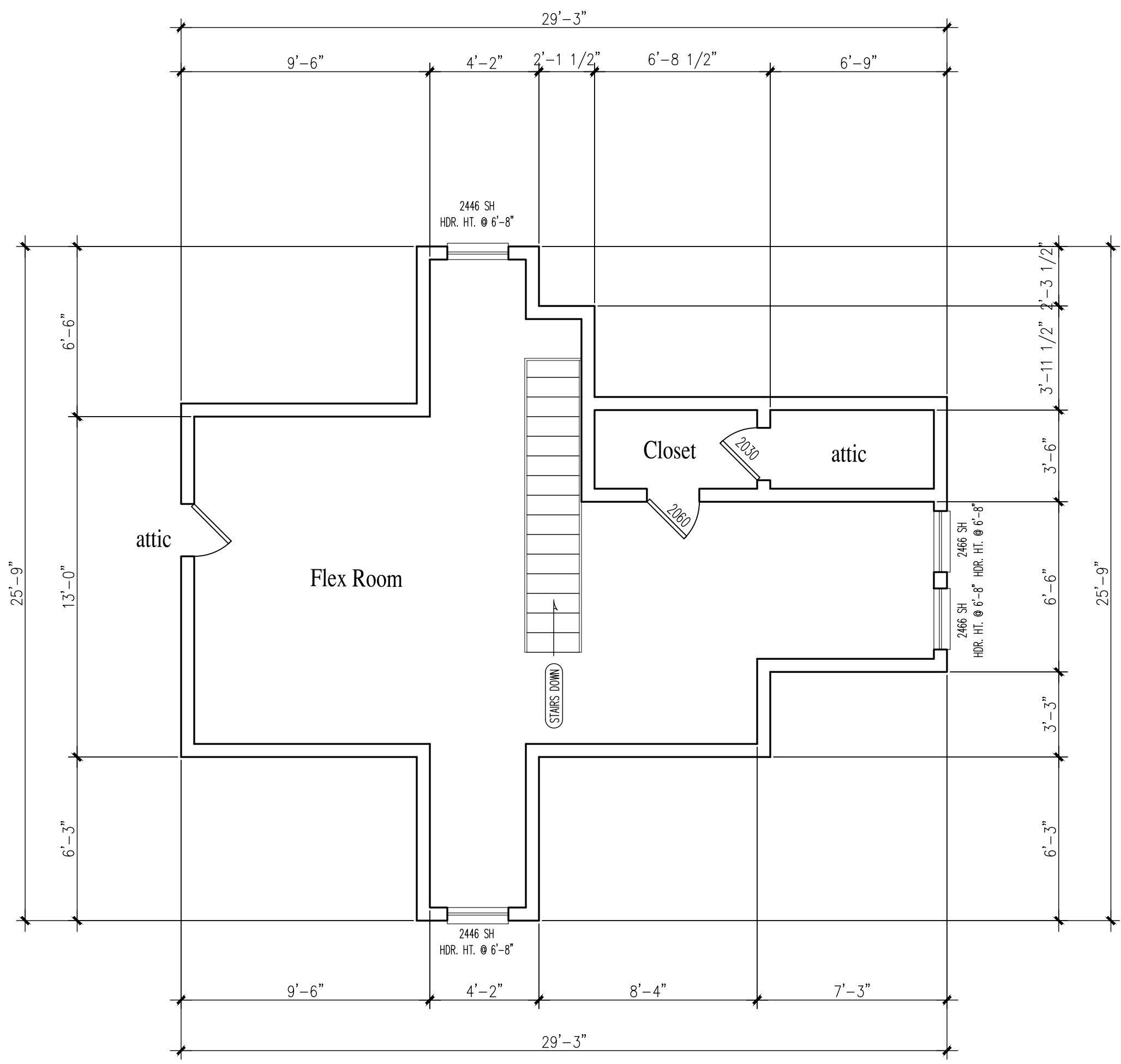
PLAN NO.

SHEET

01-13-2022



EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" FOR 36"x24" SHEET



EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" FOR 36"x24" SHEET

WALL LEGEND:

- EXISTING WALLS
PROPOSED WALLS

FOOTAGES:	
TOTAL LIVING	2,085 SQFT
FIRST FLOOR	1,668 SQFT
SECOND FLOOR	417 SQFT
TOTAL AREAS	
2,085 SQFT	

NOTES

909 Hays
San Antonio TX 78202
EXISTING FLOOR PLAN

PLAN NO.

SHEET

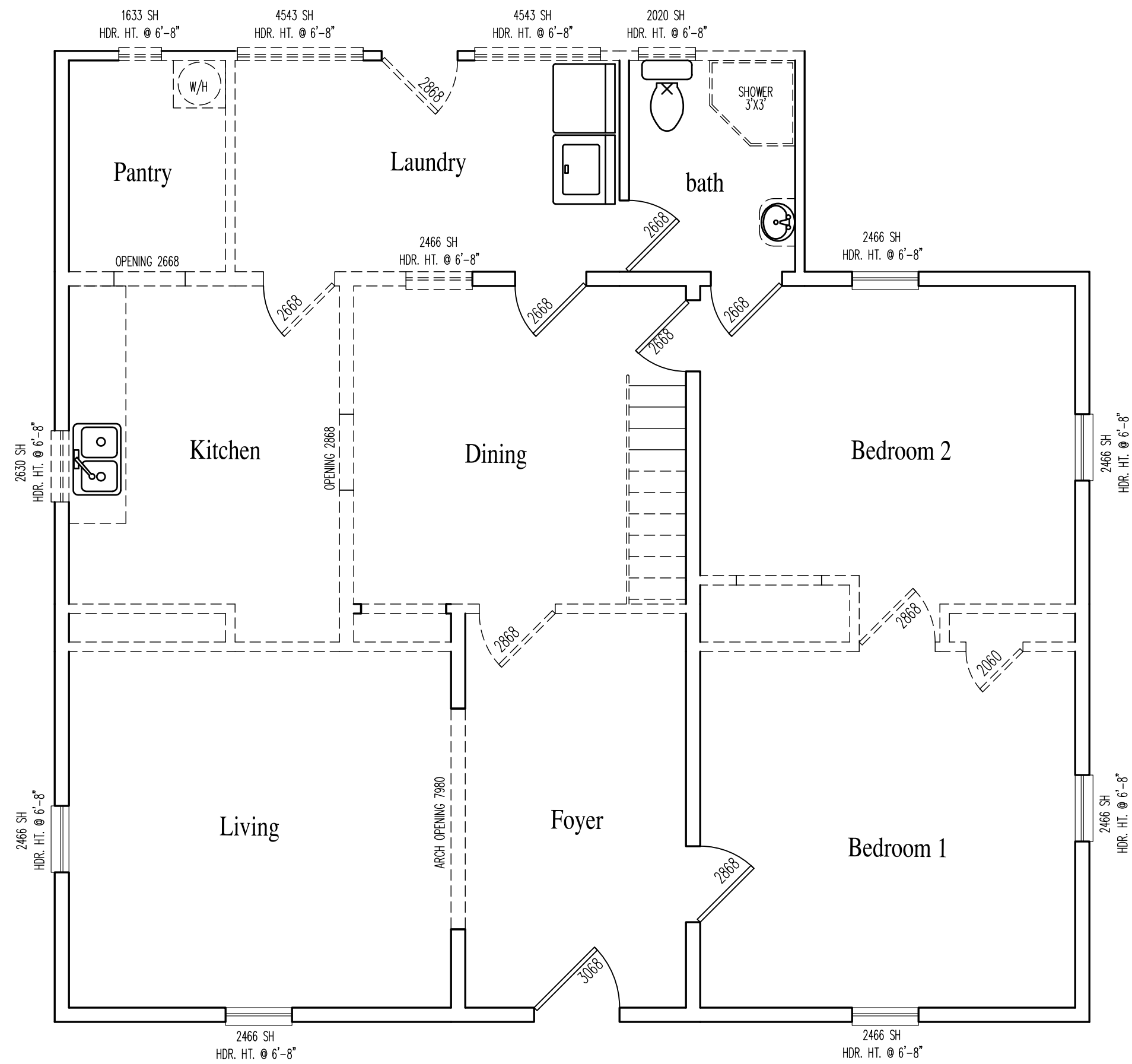
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A.2

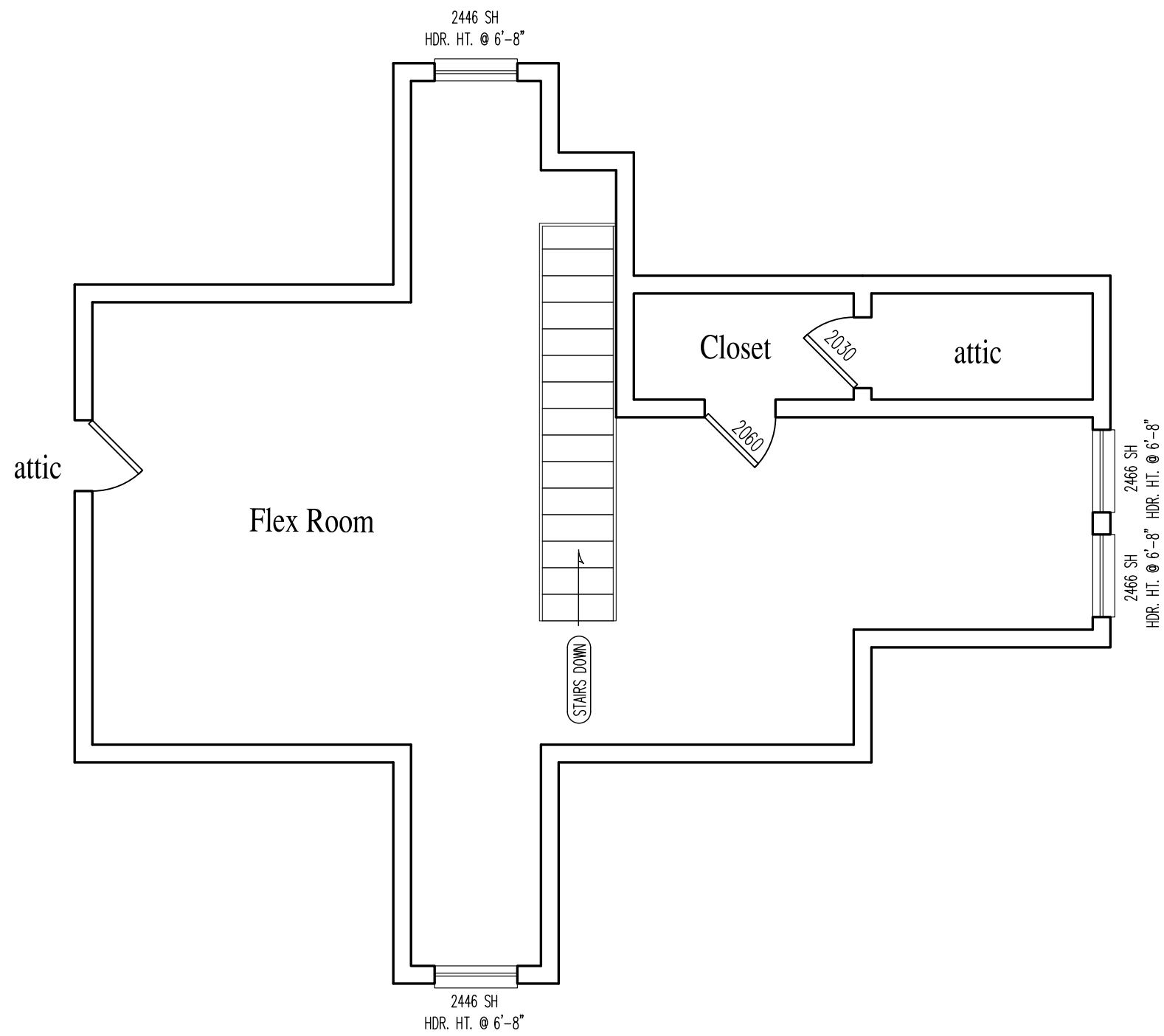
WALL LEGEND:

EXISTING WALLS
WALLS TO BE DEMO

FOOTAGES:	
TOTAL LIVING	2,085 SQFT
FIRST FLOOR	1,668 SQFT
SECOND FLOOR	417 SQFT
TOTAL AREAS	
2,085 SQFT	



DEMO FIRST FLOOR
SCALE: 1/4" = 1'-0" FOR 36"x24" SHEET



DEMO SECOND FLOOR
SCALE: 1/4" = 1'-0" FOR 36"x24" SHEET

NOTES

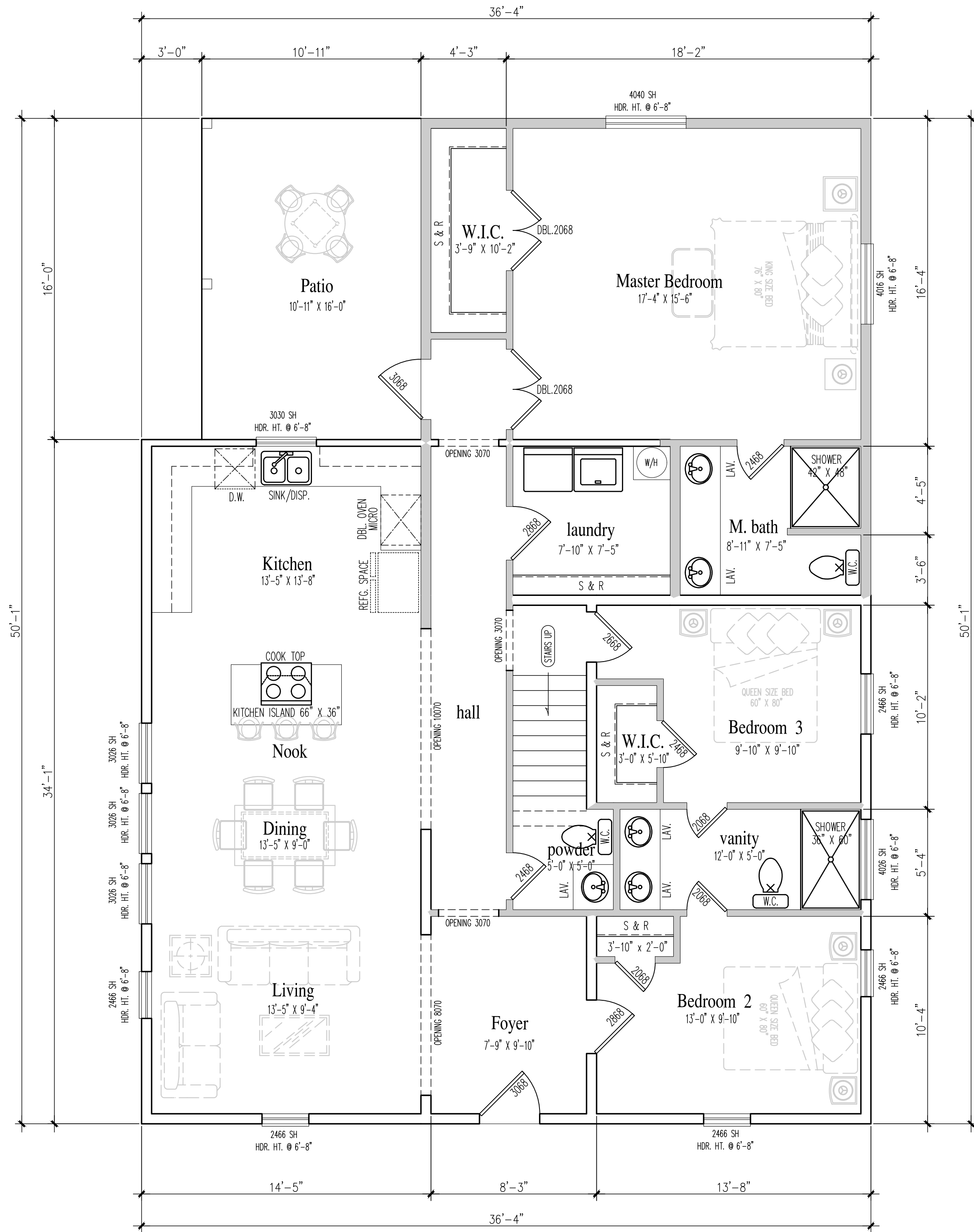
909 Hays
San Antonio TX 78202
DEMOLITION PLAN

PLAN NO.

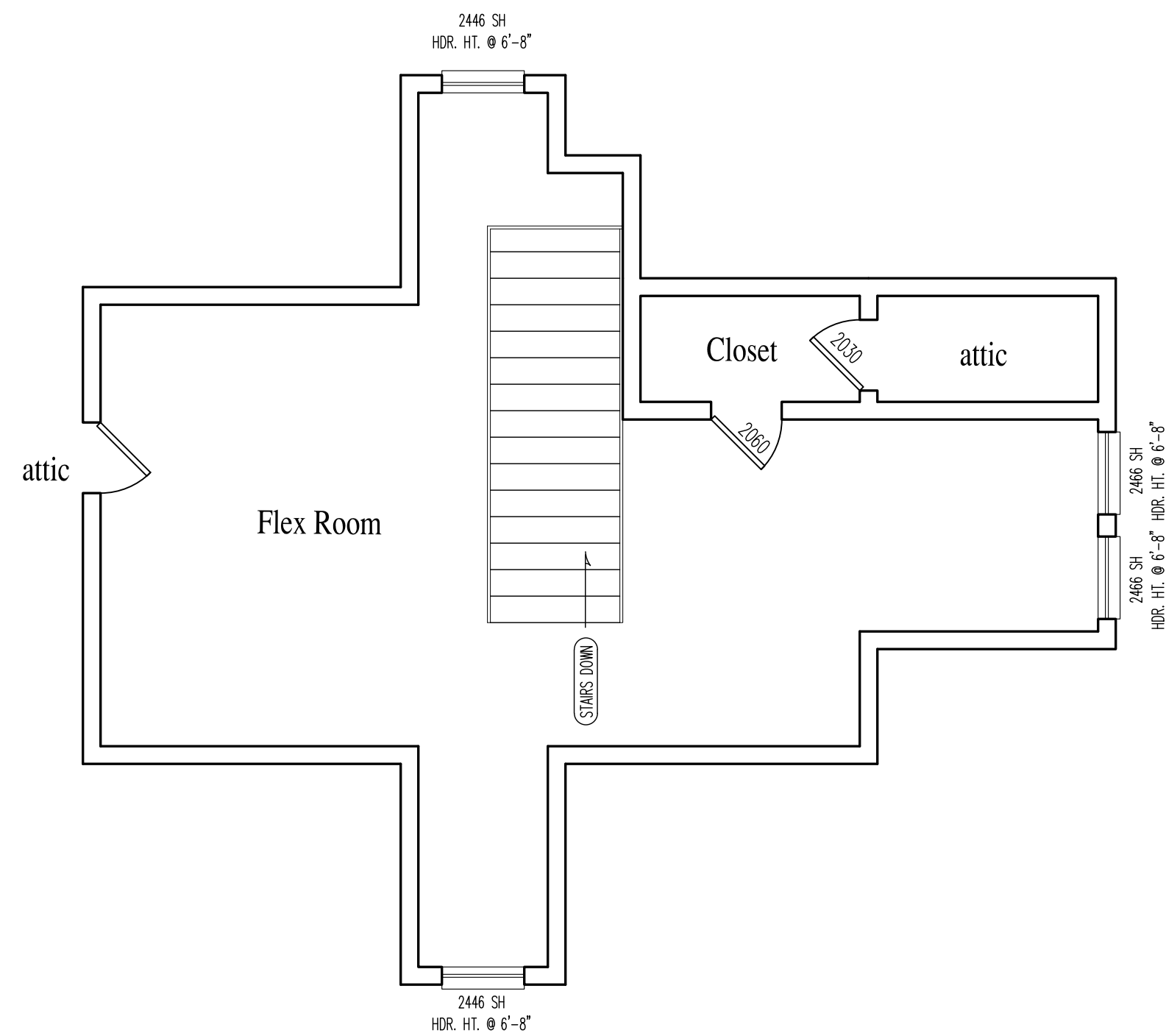
SHEET

01-18-2022

A.3



PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0" FOR 36"x24" SHEET



PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0" FOR 36"x24" SHEET

WALL LEGEND:

EXISTING WALLS	
PROPOSED WALLS	

FOOTAGES:	
FIRST FLOOR ADDITION	436 SQFT
PATIO ADDITION	175 SQFT
NEW TOTAL LIVING 2,521 SQFT	
FIRST FLOOR	1,668 SQFT
FIRST FLOOR ADDITION	436 SQFT
SECOND FLOOR	417 SQFT
PATIO ADDITION	175 SQFT
TOTAL AREAS 2,696 SQFT	

NOTE: Original windows are protected by the Historical District

NOTES

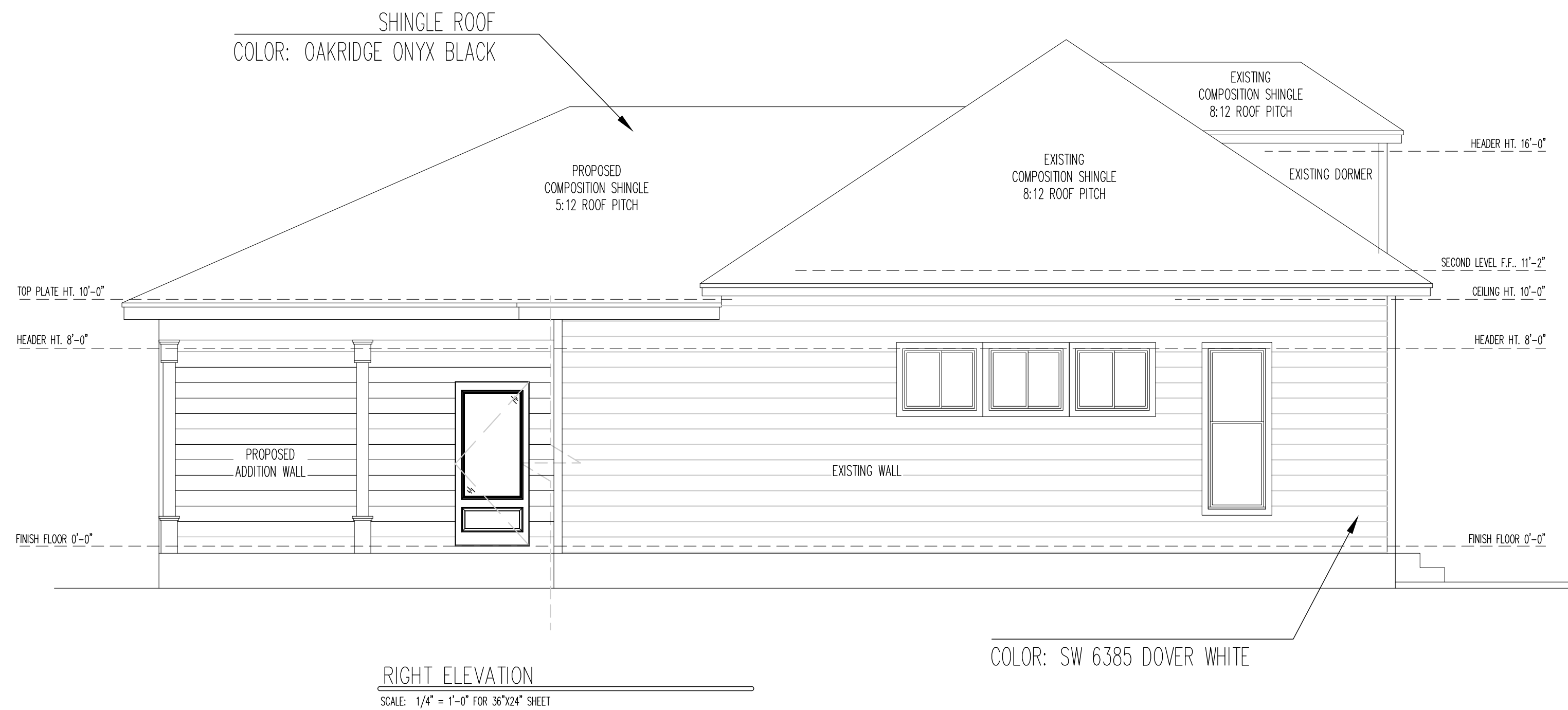
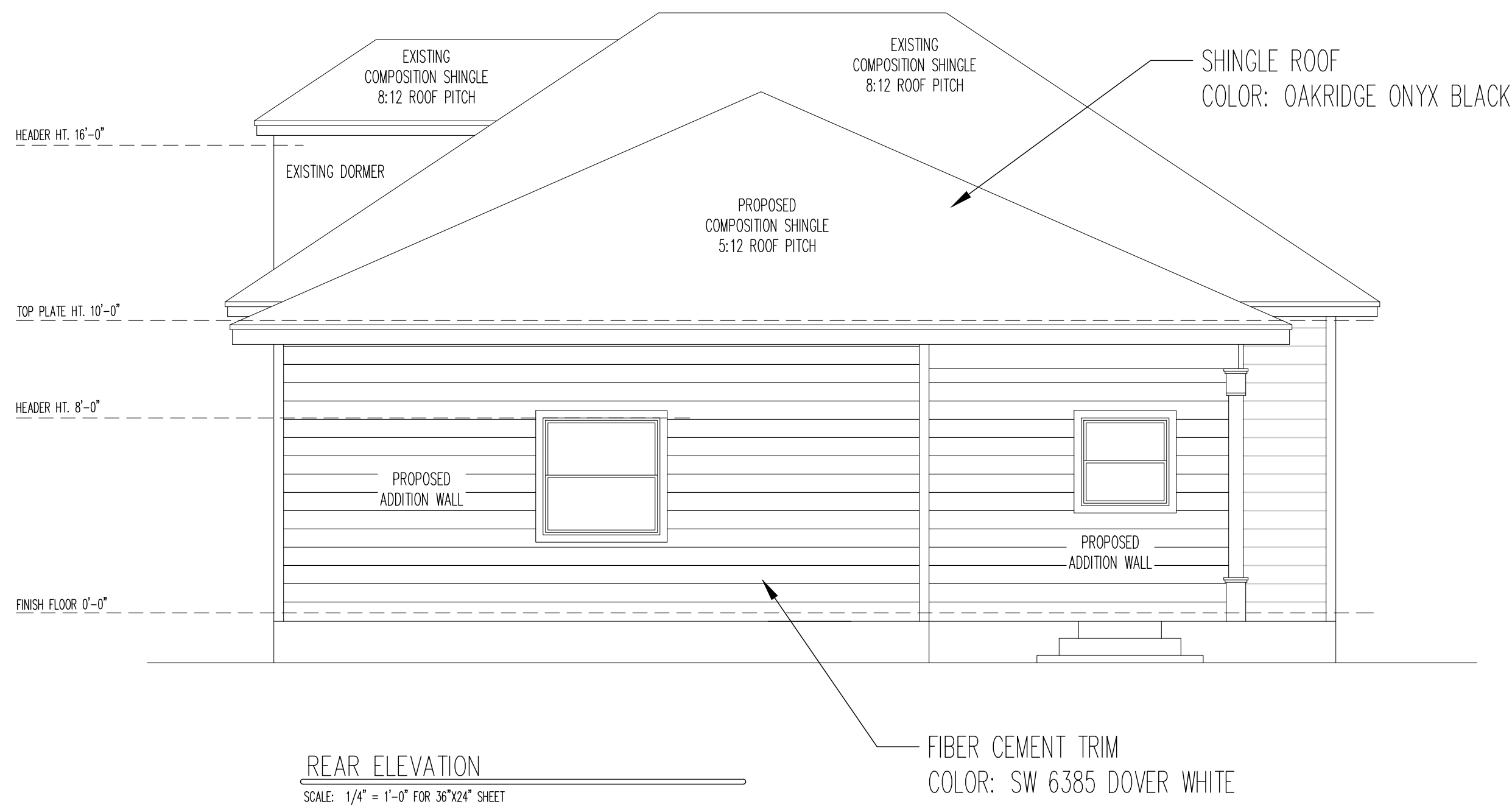
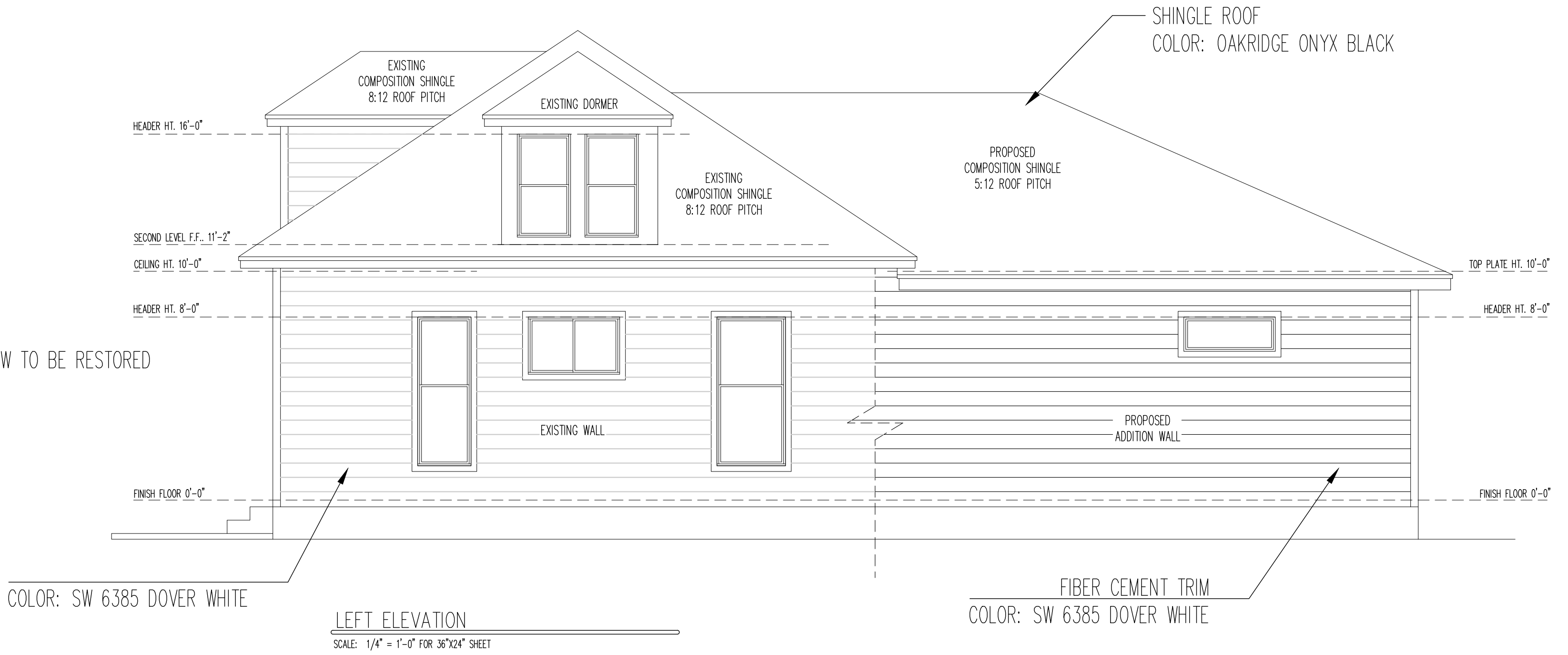
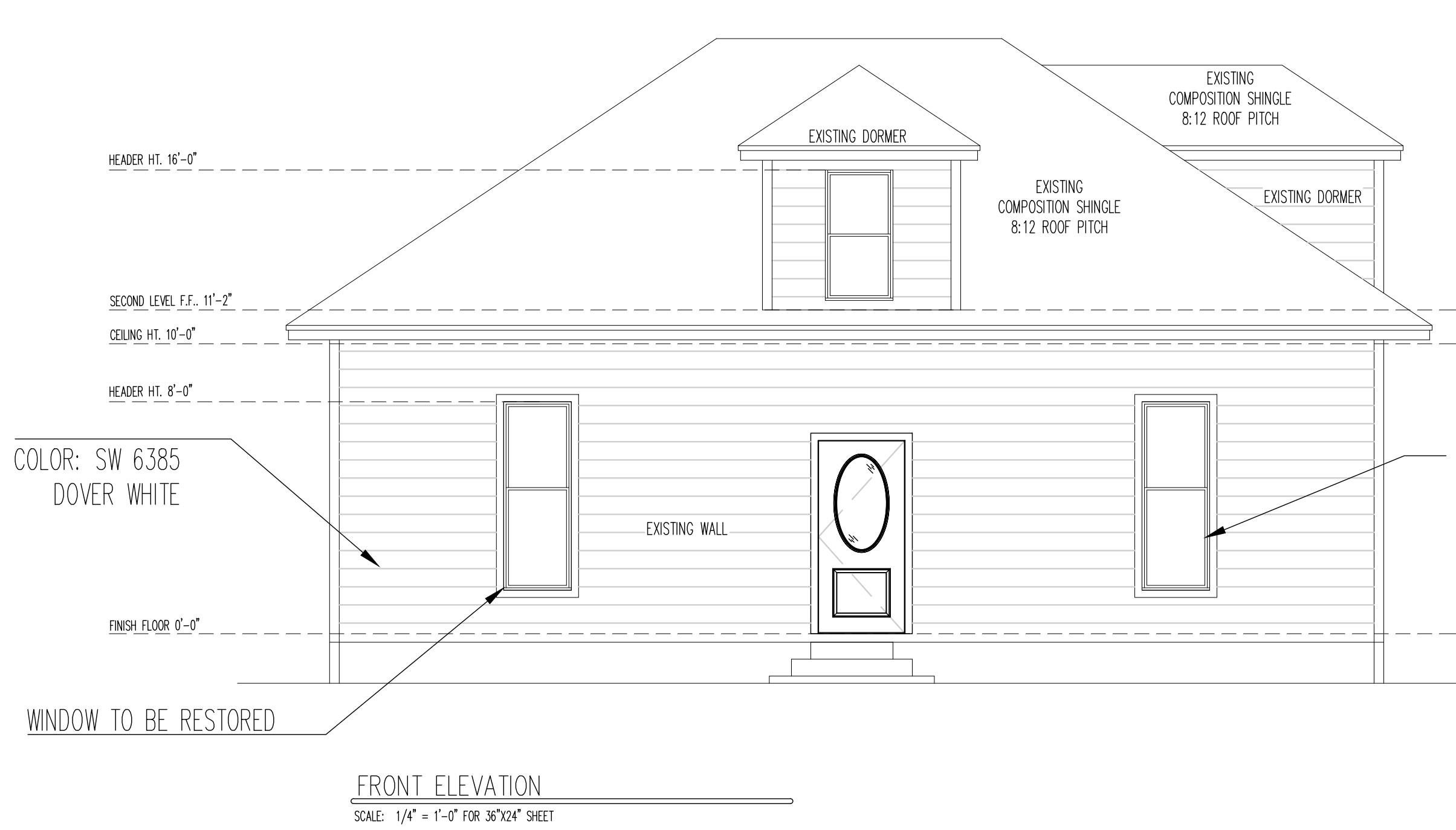
909 Hays
San Antonio TX 78202
PROPOSED FLOOR PLAN

PLAN NO.

SHEET

01-18-2022

A.4



NOTES

909 Hays
San Antonio TX 78202
PROPOSED FLOOR PLAN

PLAN NO.

SHEET

03-07-2022

A.5



Motivated Seller
FOR SALE
Trina Bacon
210-707-7474



Motivated Seller
FOR SALE
Trina Bacon
210-707-7474



Motivated Seller
FOR SALE
Kina Bacon
707-7474
VIRRE



Motivated Seller
FOR SALE
Trina Bacon
REALTOR®
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VORTEX REALTY



